



**DEVELOPMENT PERMIT NO. DP001229**

**HSC VENTURES LTD**  
Name of Owner(s) of Land (Permittee)

**4771 HAMMOND BAY ROAD**  
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

**LOT C, DISTRICT LOT 51, WELLINGTON DISTRICT, PLAN EPP33196  
PID No. 029-210-241**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

**Schedule A Location Plan**

**Schedule B Site Plan**

**Schedule C Building Elevations and Details**

**Schedule D Landscape Plan and Details**

**Schedule E Schedule D – Amenity Requirements for Additional Density**

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

### TERMS OF PERMIT

The "City of Nanaimo Zoning Bylaw 2011 No. 4500" is varied as follows:

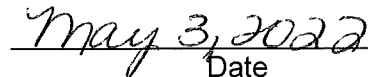
1. *Section 7.5.1 – Siting of Buildings* – To reduce the minimum required side yard setback from 3.0m to 1.77m along the east side property line.
2. *Section 6.10.2 – Fence Height* – To increase the maximum permitted combined retaining wall and fence height within the front yard setback from 1.2m to 2.4m; and within the side and rear yards from 2.4m to 3.7m.
3. *Section 6.10.5 – Fence Height* – To increase the maximum permitted combined retaining wall and fence height outside of the required yard setbacks from 3.0m to 3.95m.
4. *Section 17.11 – Minimum Landscape Treatment Levels* – To reduce the minimum required landscape buffer width of 1.8m to 0m along the east side property line.

### CONDITIONS OF PERMIT

1. The subject property shall be developed generally in accordance with the proposed Site Plan prepared by H.R. Hatch Architect Ltd., revision dated 2022-MAR-09, as shown on Schedule B.
2. The development is in substantial compliance with the proposed Building Elevations prepared by H.R. Hatch Architect Ltd., dated received 2022-APR-06, as shown on Schedule C.
3. The subject property is developed in substantial compliance with the proposed Landscape Plan and Details prepared by Prospect & Refuge Landscape Architects., revision dated 2022-MAR-18, as shown on Schedule D.
4. The subject property is developed in accordance with the 'Schedule D – Amenity Requirements for Additional Density' received 2022-APR-06, as shown in Schedule E, and is to include the following items:
  - A letter from the coordinating professional submitted prior to Building Permit issuance outlining how the required items for additional density will be achieved; and
  - A letter from the coordinating professional with accompanying evidence submitted prior to building occupancy demonstrating that the required items have been provided.

AUTHORIZING RESOLUTION PASSED BY COUNCIL  
THE 25TH DAY OF APRIL, 2022.

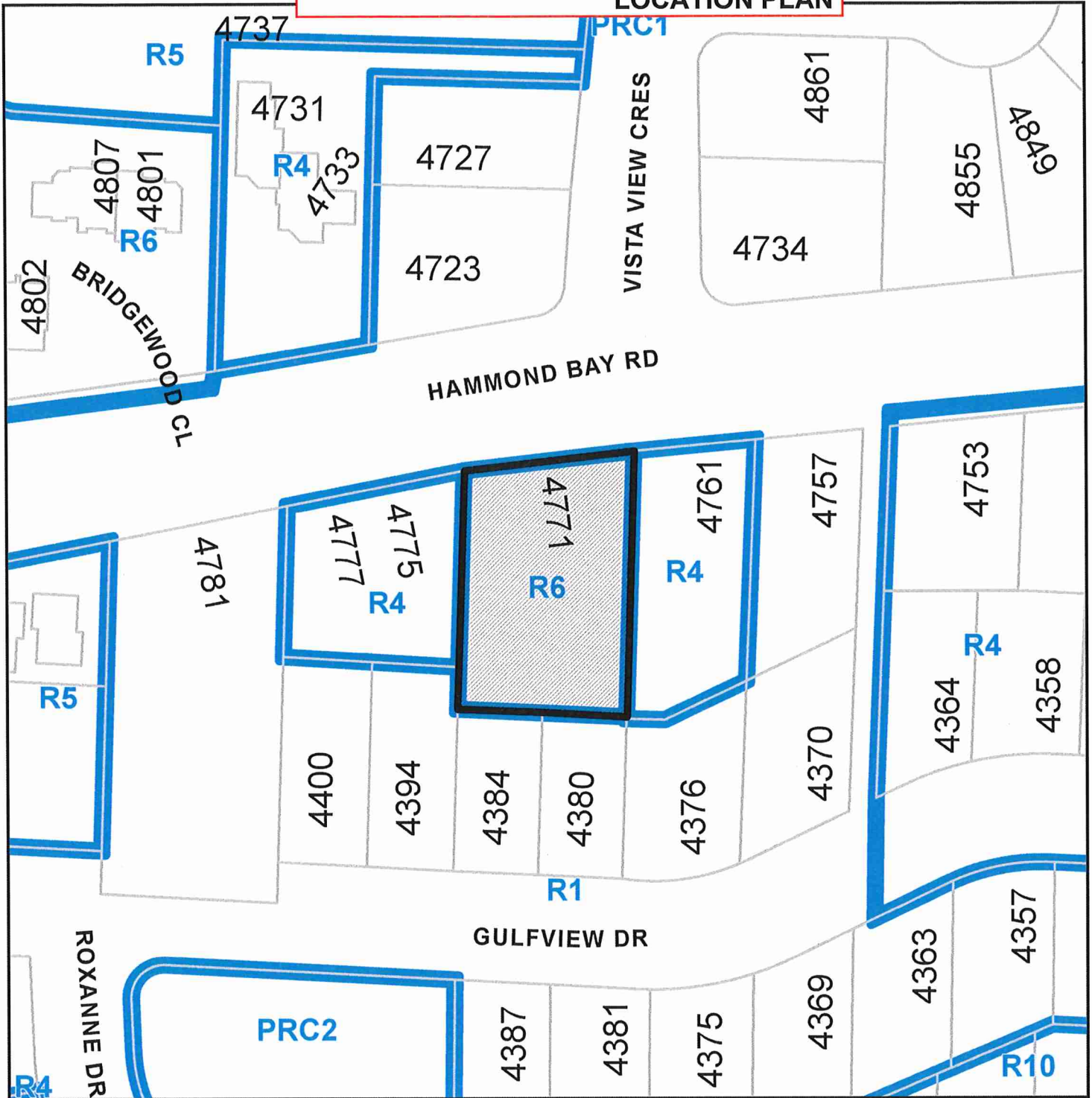
  
Corporate Officer

  
Date

SR/in  
Prospero attachment: DP001229

Development Permit No. DP001229    Schedule A  
4771 Hammond Bay Road

**LOCATION PLAN**

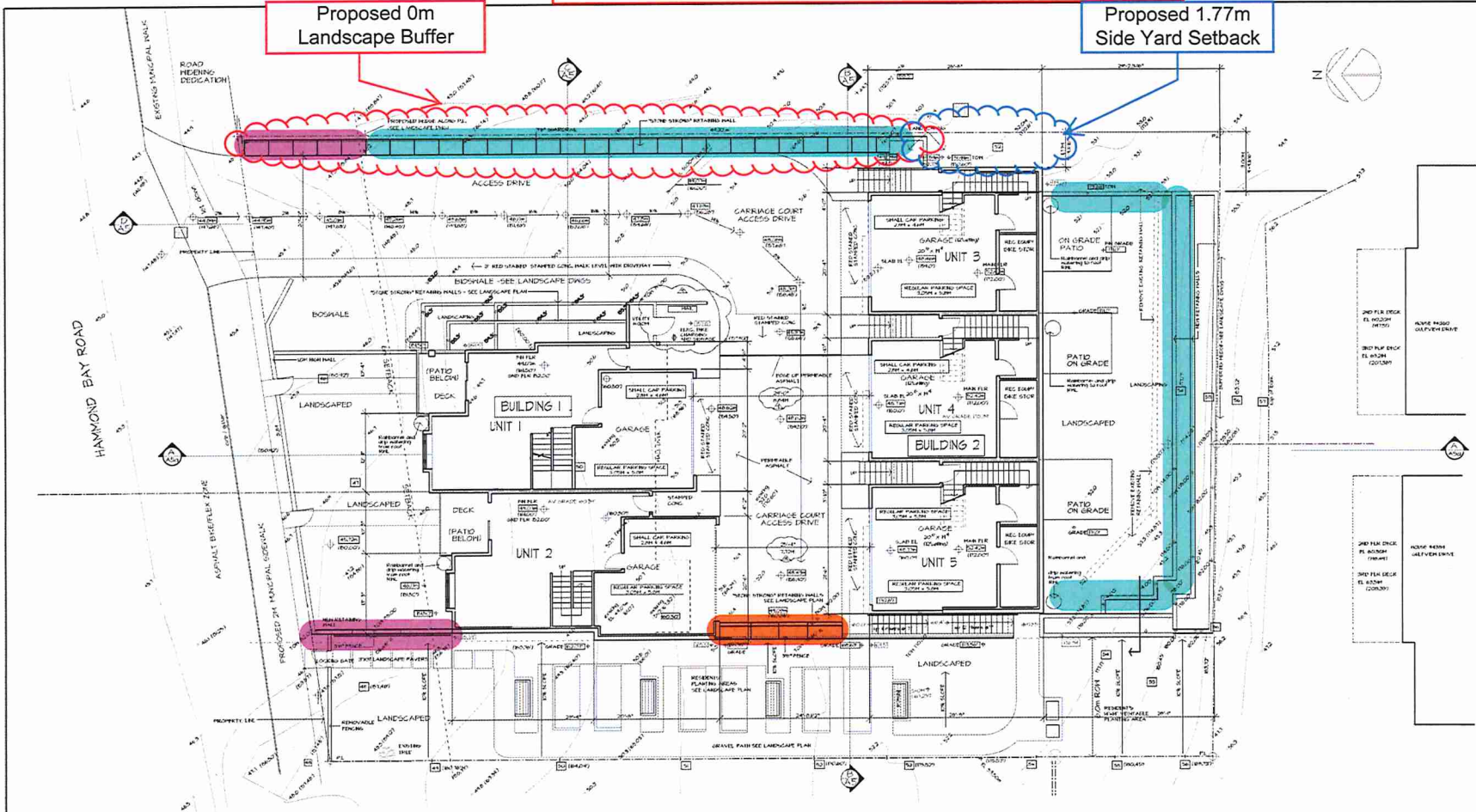


**DEVELOPMENT PERMIT APPLICATION NO. DP001229**

CIVIC: 4771 HAMMOND BAY ROAD  
LEGAL: LOT C, DISTRICT LOT 51, WELLINGTON DISTRICT, PLAN EPP33196

 **Subject Property**

**SITE PLAN**



**Proposed Retaining Wall Heights**

- Up to 3.95m
- Up to 3.70m
- Up to 2.40m

- LEGEND**
- EXISTING SPOT ELEVATIONS IN METERS
  - EXISTING CONTOUR LINE ELEVATIONS IN METERS
  - EXISTING GRADE SPOT ELEVATIONS FROM SURVEY (existing grade in imperial in brackets)
  - PROPOSED FINISHED GRADE / ELEVATION (grade in imperial in brackets)

No.	Date	Description	Drawn
4	04/27/22	FINAL CHECK FOR JUNE 2022	
3	04/26/22	FINAL PLANNING CHECK	
2	03/17/22	SUBMISSION FOR DEVELOPMENT PERMIT	
1	03/15/22	SUBMISSION FOR DEVELOPMENT PERMIT	
0	02/25/22	PRELIMINARY FOR REVIEW	

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**H. R. HATCH ARCHITECT LTD**  
Design - Planning - Research

601-587 West 8th Avenue Vancouver, B.C. V6J 1T5  
Tel: (604) 261-2347

Consultant	
Seal	Seal

**Project**  
PROPOSED TOWNHOUSES

**Location**  
4771 HAMMOND BAY ROAD  
NANAIMO, B.C.

**Drawing Title**  
SITE PLAN

Drawn	Project No.
CHKD	2011-02
Issue Date	Date
FEB 27/22	
Scale	Drawing No.
1/8"=1'-0"	
Reproduction Scale	
1" = 10' 0"	

**RECEIVED**  
**DP1229**  
**2022-MAR-25**  
Current Planning

**A03**

Development Permit No. DP001229 Schedule C  
 4771 Hammond Bay Road  
**BUILDING ELEVATIONS AND DETAILS**



HAMMOND BAY ROAD ELEVATION (NORTH)



WEST ELEVATION

Exterior Finish Legend Building 1	
① ASPHALT SHINGLES - FLASH	⑩ PREFINISHED ALUMINUM QUADRAALS - WHITE
② DOUBLE GLAZED VINYL FRAMED WINDOWS - C/PN WOOD TRIM	⑪ 2 1/2" x 6" STEEL ENTRY DOORS C/PN LITE - LUBBER-MILLING SHIPWOOD TRIM
③ 6" x 6" ALUMINUM GARAGE DOORS - WARRIOR WILLOW 1/2" SHIPWOOD TRIM	⑫ 6" OVERLAPPED CEDAR BOARD
④ PREFINISHED ALUMINUM OUTER ON - 2" x 6" FASCIA BOARD - WARRIOR WILLOW SHIPWOOD TRIM	⑬ STONEBLOCK RETAINING WALL SYSTEM - C/PN COLOR OF GRASS
⑤ HARDIEPLANK HORIZONTAL SIDING - WARRIOR WILLOW	
⑥ HARDIEPANEL SHINGLE SIDING - WARRIOR WILLOW	
⑦ 2" x 6" FASCIA BOARD (BELLYBAND) - WARRIOR WILLOW SHIPWOOD TRIM	



SOUTH ELEVATION



EAST ELEVATION

No.	Date	Description	By
1	2011-02-17	SUBMISSION FOR DEVELOPMENT PERMIT	
2	2011-02-17	SUBMISSION FOR DEVELOPMENT PERMIT	
3	2011-02-17	SUBMISSION FOR DEVELOPMENT PERMIT	
4	2011-02-17	SUBMISSION FOR DEVELOPMENT PERMIT	

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Design - Planning - Research



101-1507 West 8th Avenue Vancouver, B.C. V6L 1Y5  
 Tel: (604) 261-2347

Consultant

Sheet	Set

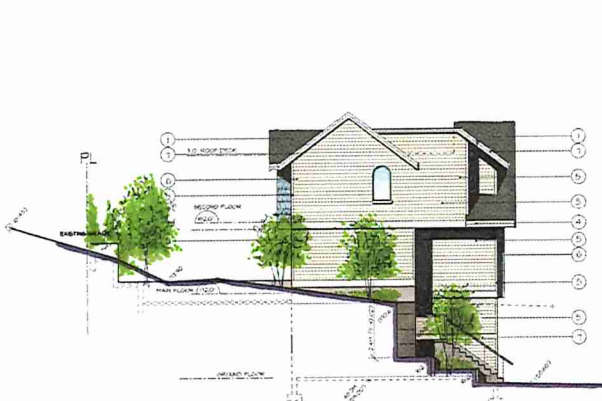
Project  
**PROPOSED TOWNHOUSES**  
 Location  
 4771 HAMMOND BAY ROAD  
 NANAIMO, B.C.

Drawing Title  
**BUILDING ELEVATIONS**

Drawn	Project No.	
	2011-02	
Check	Appr.	
Issue Date	Date	Drawing No.
Scale	Version	
Reproduction Scale		
1:1		

RECEIVED  
 2011-02-06  
 Design Planning

**A05**



BUILDING 2 EAST ELEVATION



NORTH ELEVATION

**Exterior Finish Legend Building 2**

1 ASPHALT SHINGLES + SLACK	6 PREFINISHED ALUMINUM GUARDRAILS + WHITE
2 DOUBLE GLAZED VINYL FRAMED WINDOWS + 6/8 PICOO TFM	7 30" x 60" STEEL ENTRY DOORS G/L LITE + BROWN MULLIONS AND 1/2" X 1/2" RAIL
3 8'0" x 10'0" ALUMINUM GARAGE DOORS + BROWN MULLIONS, TUBES, HANDS, LIGHT PNT	8 6" OVERLAPPED CEDAR BOARD
4 PREFINISHED ALUMINUM GUTTER ON 2" X 6" FASCIA BOARD + GREENISH GRAY FINISH TRAPEZOID	9 STONESTRONG RETAINING WALL SYSTEM CONCRETE COURSE @ 7' ONWARDS
5 HARDPLANK HORIZONTAL SOUNDING SHEATHING	
10 HARDPANEL SHINGLE SOUNDING + SHADY LIGHT GRAY	
11 2" X 6" FASCIA BOARD/BELLYBAND + GREENISH GRAY FINISH TRAPEZOID	



WEST ELEVATION



SOUTH ELEVATION

4	JAN 20/24	REV FOR DEV PERMIT SUBMISSION	
3	24th 17/21	REV FOR DEV PERMIT SUBMISSION	
2	DEC 12/20	REV FOR DEV PERMIT SUBMISSION	
1	DEC 17/20	REV FOR DEV PERMIT SUBMISSION	
	DEC 12/20	REV FOR DEV PERMIT SUBMISSION	

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**H. R. HATCH ARCHITECT, LTD**  
Design - Planning - Research



601-1587 West 8th Avenue Vancouver, B.C. V6J 1Y5  
Tel: (604) 261-2547

Consultant	
Dist	Town

Project  
**PROPOSED TOWNHOUSES**

Location  
4771 HAMMOND BAY ROAD  
NANAIMO, B.C.

Drawing Title  
**BUILDING 2 ELEVATIONS**

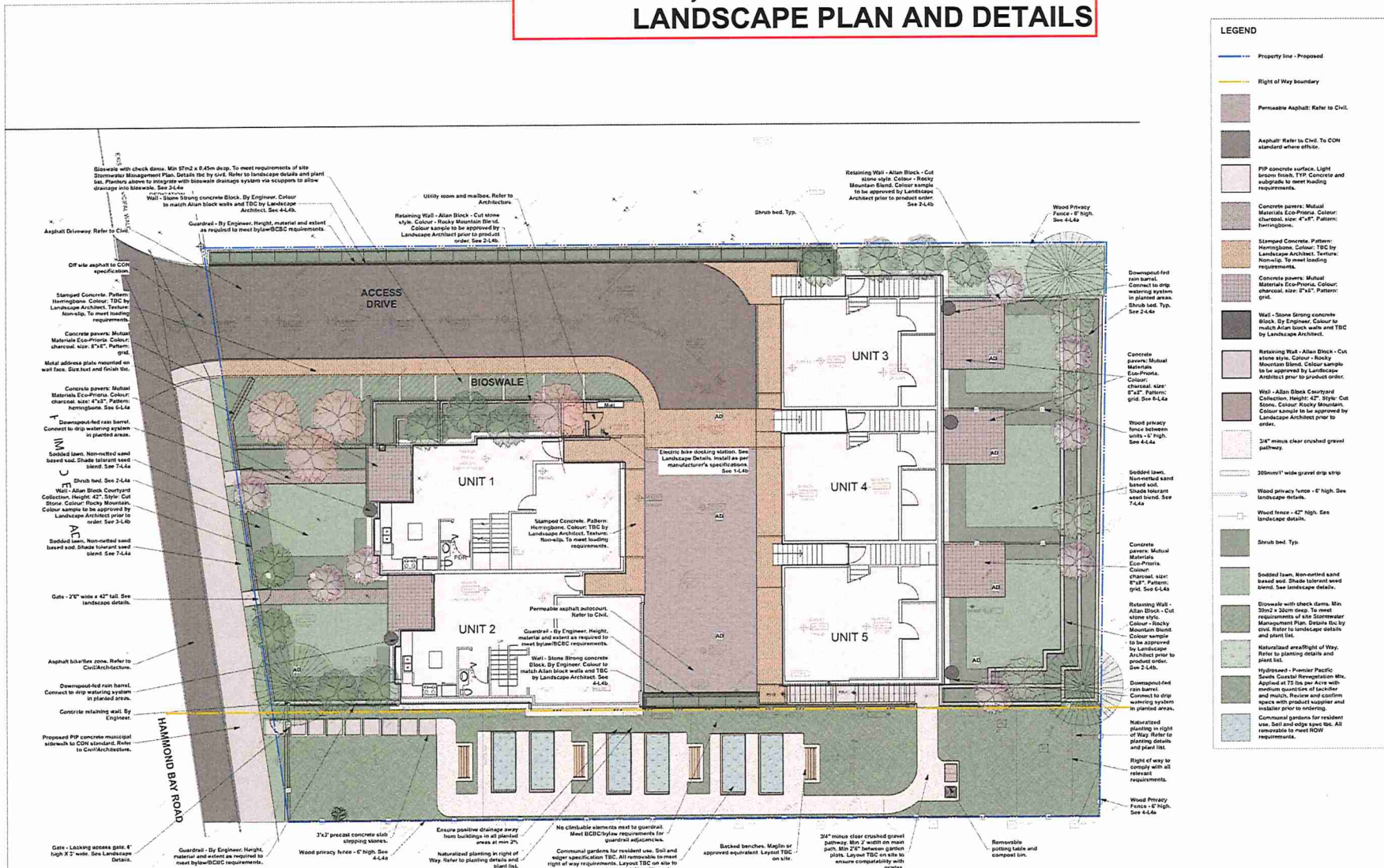
Drawn	Checked	Project No.
DATE	DATE	2017-02
Established Date	Date	Drawing No.
Scale	Author	<b>A09</b>
Reproduction Scale	DATE	

RECEIVED  
2021-APR-16  
City of Nanaimo

# Development Permit No. DP001229 Schedule D

## 4771 Hammond Bay Road

# LANDSCAPE PLAN AND DETAILS



### LEGEND

- Property line - Proposed
- Right of Way boundary
- Permeable Asphalt: Refer to Civil.
- Asphalt: Refer to Civil. To COH standard where offset.
- PIP concrete utility, light base and subgrade, to meet loading requirements.
- Concrete pavers: Mutual Materials Eco-Profit. Colour: charcoal, size: 4"x8". Pattern: herringbone.
- Stamped Concrete: Pattern: Herringbone. Colour: TBC by Landscape Architect. Texture: Non-slip. To meet loading requirements.
- Concrete pavers: Mutual Materials Eco-Profit. Colour: charcoal, size: 6"x8". Pattern: grid.
- Well - Stone Strong concrete Block By Engineer. Height: 42" by 42". Colour: Rocky Mountain Block. To be approved by Landscape Architect prior to product order. See 2.4.4b.
- Retaining Wall - Allan Block - Cut Stone Myle. Colour - Rocky Mountain Block. Colour sample to be approved by Landscape Architect prior to product order. See 2.4.4b.
- Well - Stone Strong concrete Block By Engineer. Height: 42" by 42". Colour: Rocky Mountain Block. To be approved by Landscape Architect prior to product order. See 2.4.4b.
- Retaining Wall - Allan Block - Cut Stone Myle. Colour - Rocky Mountain Block. Colour sample to be approved by Landscape Architect prior to product order. See 2.4.4b.
- Well - Allan Block Courtyard Collection. Height: 42" by 42". Colour: Rocky Mountain Block. To be approved by Landscape Architect prior to product order. See 2.4.4b.
- Wood privacy fence between units - 4' high. See 4.4.4a.
- Sodded lawn. Non-retained sand based soil. Shade tolerant seed blend. See 2.4.4a.
- Wood privacy fence - 6' high. See landscape details.
- Wood fence - 42" high. See landscape details.
- 300mm wide gravel strip strip. See landscape details.
- Wood privacy fence - 4' high. See landscape details.
- 3/4" minus clear crushed gravel pathway.
- Shrub bed, Typ.
- Sodded lawn. Non-retained sand based soil. Shade tolerant seed blend. See landscape details.
- Retaining Wall - Allan Block - Cut Stone Myle. Colour - Rocky Mountain Block. Colour sample to be approved by Landscape Architect prior to product order. See 2.4.4b.
- Downspout-fed rain barrel. Connect to drip watering system in planted areas.
- Naturalized area/Right of Way. Refer to planting details and plant list.
- Right of way with all relevant requirements.
- Wood Privacy Fence - 4' high. See 4.4.4a.

- #### Planting Notes
- All materials and execution of landscape works shall conform to the Canadian Landscape Standard. Refer to document for complete landscape documentation.
  - The Landscape Contractor shall ensure that the on-site planting recommendations meet the specifications and recommendations of the soil analysis taken at the time of Substantial Completion. All recommendations of the soil analysis shall be executed prior to Final Acceptance of the landscape works by the Consultant and the Municipal Authority.
  - All plant material shall meet minimum size requirements as indicated on plant list. Quality of plant material and grading of site in conform to Canadian Landscape standard for container green stock.
  - Discrepancies between plant numbers on the plant list and on the plan should be reported to the landscape architect prior to ordering plant material. In the case where there is a discrepancy between plant numbers on the plant list and on the plan, the plant list supersedes the list.
  - All plant material to be supplied on the job site must be established from a nursery participating in the ICLCA Phytophthora Pathogen Certification Program. Plant material to be removed, disposed of and replaced at the contractor's expense.
  - Disturbances (if excavations or other conditions detrimental to healthy plant growth are encountered, notify the Landscape Architect and request additional instructions).
  - Plants shall be nursery grown under climatic conditions similar to those at the location of the project. Plants shall be healthy, vigorous and of normal habit of growth for the species. They shall be free from diseases, insects, insect eggs and larvae and shall equal or exceed the size indicated on the plant list. The plants shall not be pruned prior to delivery except upon special approval.
  - Root balls to be free of perennials weeds.
  - Install 2" diameter compacted gravel mulch on all shrub beds after planting and rain runoff.
  - The prepared sub-grade shall be approved by the Landscape Contractor prior to application of top soil and mulch. Contact Landscape Architect 1 week before anticipated sub-grade completion date for activation review.
  - Landscape Contractor to provide 55 days of maintenance after the date of Substantial Completion. Maximum to level 2 (Grooming as per Canadian Landscape Standards). Contractor to provide a one year guarantee for all plant material. Plants installed prior to June (between Jan 1 and June 1) shall be under extended warranty until the June 1 of the following year.
  - The Landscape Architect to approve any plant material substitutions. Upon delivery, all plant material must meet CLS standards.
  - The exact location of trees shall be determined on site and field fit subject to obstructions where applicable.
  - All landscaping to have high efficiency irrigation system to SABC standards.
  - Maximum planting depth details otherwise noted. Refer to table below.

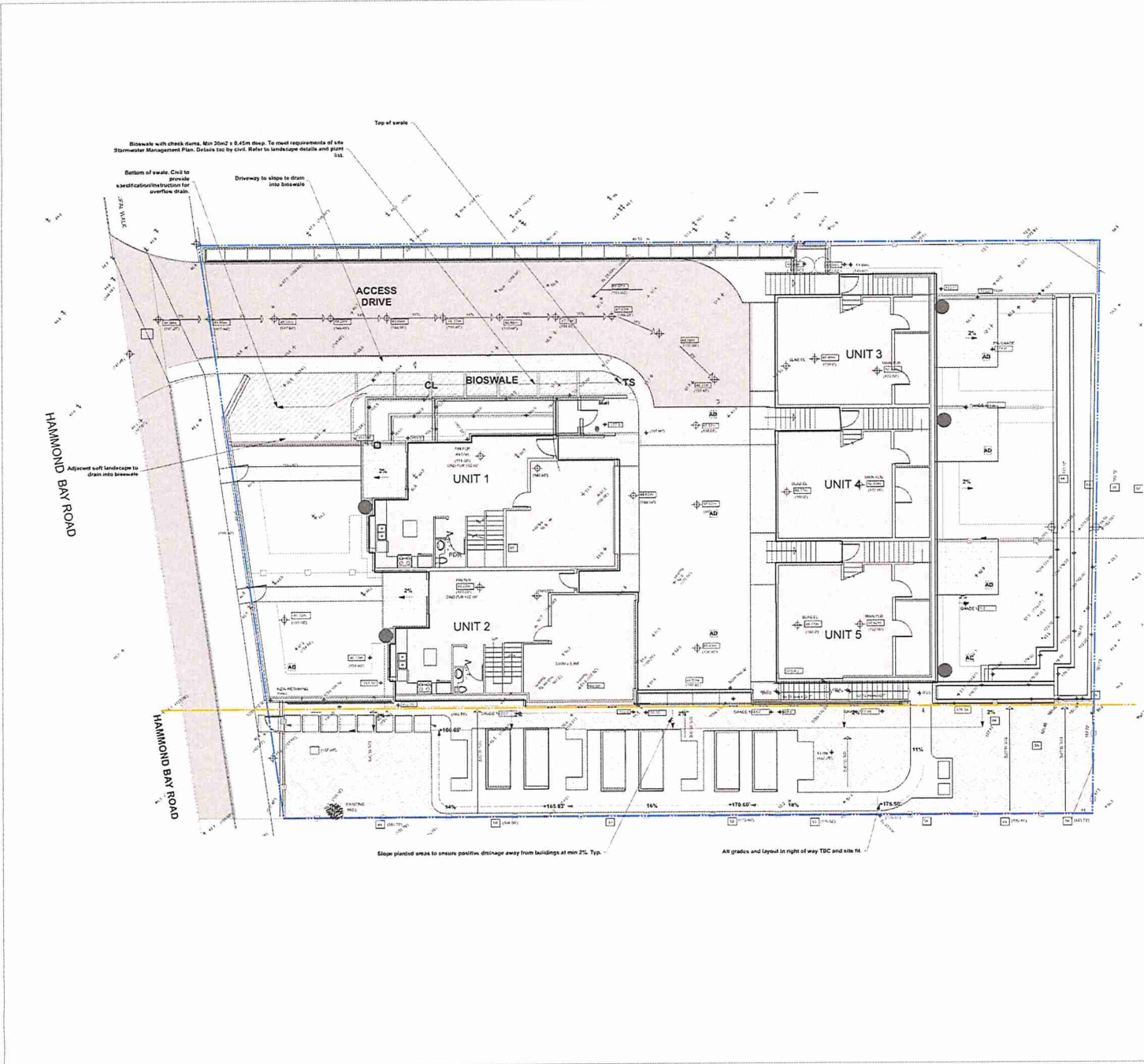
Date	Issue Notes
J 2022-03-16	Re-issue for DP
2022-02-01	Re-issue for Development Permit
H 2022-02-01	Issued for Review
G 2022-01-21	Issued for Development Permit Coordination
F 2022-01-20	For Coordination: Act: Site Revisions
E 2021-03-21	Issue for Development Permit
D 2021-01-21	Issued for Review
C 2020-11-17	Issued for Coordination - IN PROGRESS. L2a Only
B 2020-11-04	Issued for Coordination

**RECEIVED**  
**DP 1229**  
**2022-MAR-22**

**Prospect & Refuge**  
LANDSCAPE ARCHITECTS  
4771 Hammond Bay Road, Nanaimo, B.C. V9S 4K4  
250.752.1223    info@prospectandrefuge.ca  
Building Permit No. 2022-001229-001

- #### THREE NOTES
- The tree protection barriers must be built and inspected before the building permit can be issued. Place all the building inspector at local municipality and request a tree barrier inspection at least 48 hours in advance of the building permit.
  - Protection of existing trees to remain: Install temporary tree protection fencing to meet all relevant bylaws/landmarks at location specified by Architect (or drop in if unspecified) of existing trees, vines, and shrub beds which are to remain. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction until final landscape work is living done in the vicinity. Remove protective fencing as directed and landscape as directed.
  - The proposed sub-grade shall be approved by the Consultant prior to application of top soil mixtures and finish grading. Stably compacted subgrade to a minimum depth of 6" (150mm) immediately before placing growing medium. Provide positive drainage and toward lawn drains and catch basins. Slope away from building at a minimum of 2%. Slope towards lawn basins at a minimum 1%. Slope basins and grass areas minimum 2% and maximum 3% slopes. Slope grass areas (without additional erosion protection) along street minimum 1% and maximum 10% and along side slopes minimum 5% slope and maximum 3:1 slope.
- #### LANDSCAPE NOTES
- All landscape construction to meet the current edition of the Canadian Landscape Standards as a minimal acceptable standard. Plant material to the satisfaction of the Landscape Designer for nursery stock. Extend search for plant material to Washington and BC.
  - Areas on the planting plan shall be considered minimum sizes.
  - Root balls to be free of perennials weeds.
  - All top soil mixtures for the project shall be tested for particle size, pH, and nutrient levels, and recommendations provided and amendments made to bring the soil up to acceptable horticultural quality for the desired plant material, trees, or turf plantings. Provide verification of texture and fine applications and time applications and maintenance periods. Top soil minimum slab depths are 6" (150mm) for lawn areas and 12" (300mm) for shrub beds and ground cover plantings. Install 2" (50mm) of compacted organic mulch on all shrub beds after planting and rain runoff.
  - The prepared sub-grade shall be approved by the Consultant prior to application of top soil mixtures and finish grading. Stably compacted subgrade to a minimum depth of 6" (150mm) immediately before placing growing medium. Provide positive drainage and toward lawn drains and catch basins. Slope away from building at a minimum of 2%. Slope towards lawn basins at a minimum 1%. Slope basins and grass areas minimum 2% and maximum 3% slopes. Slope grass areas (without additional erosion protection) along street minimum 1% and maximum 10% and along side slopes minimum 5% slope and maximum 3:1 slope.
  - Landscape Contractor is to provide 55 days of maintenance after the date of Substantial Completion. Maintain to level 2 (Grooming as per Canadian Landscape Standards). Contractor to provide a one year guarantee for all plant material. Plants installed prior to June (between Jan 1 and June 1) shall be under extended warranty until the June 1 of the following year.
  - Planting material on City Boulevard to have the approval of the Parks Dept. prior to installation. Size, species and location require approval at the time of installation.
  - All landscaping to have high efficiency irrigation system to SABC standards.
- #### LANDSCAPE NOTES (Continued)
- All landscaping shall be permanently maintained in good condition with the same quality and quantity of landscaping as was initially approved and without alteration of the approved design; the owner shall make provision for permanent irrigation works necessary to water the landscaping.
  - Individual plants to be used in landscaping shall have normal, well developed branches and vigorous fibrous root systems; such plants shall be healthy, vigorous and free from diseases, decay, disfiguring marks, sunburn, injuries, abrasions of the bark, plant diseases, insect pests, fungi, borers and all forms of infestation or objectionable infestations.
  - The construction and scheduling of all work on the site shall be such that no damage occurs to introduced vegetation before or after installation or final installation or final vegetation to be retained or to existing soil conditions as determined by local weather conditions and the requirements of using plant material.
  - Imported topsoil shall be free from subsoil, roots, toxic materials, stones over 50 mm in diameter and foreign objects. Topsoil shall be free from erodibles, couchgrasses, equisetum or noxious weeds or seeds or parts thereof.
  - The working area shall be maintained in an orderly manner and shall not be encumbered with equipment, materials, or debris.
  - Clear up shall be a continuing process from the start of the work to final acceptance of the project. Property on which work is in progress shall at all times be kept free from accumulations of waste materials or rubbish. Accumulations of waste materials which might constitute a fire hazard shall not be permitted. Spillage from hauling vehicles on travelled public or private roads shall be promptly cleaned up. On completion of construction, all temporary structures, rubbish and waste materials resulting from the operations, shall be removed.





**LANDSCAPE NOTES**

1. All landscape construction to meet the current edition of the Canadian Landscape Standards as a minimum adoptable standard. Plant material to the satisfaction of the Landscape Standards for nursery stock. Extend search for plant material to Washington and BC.
2. Sizes on the planting plan shall be considered minimum sizes.
3. Root balls to be free of pernicious weeds.
4. Top soil mixtures for the project shall be tested for particle size, pH and nutrient levels, and recommendations provided and amendments made to bring the soil up to acceptable horticultural quality for the desired plant material, trees, or turf planting. Provide verification of fertilizer and lime applications and rates during the installation and maintenance periods. ON 424 minimum soil depth, are 6" (150mm) for lawn areas and 18" (450mm) for shrub beds and ground cover plantings. Install 2" (50mm) of composted organics, mulch on all shrub-beds after planting and rate smooth.
5. The prepared subgrade shall be approved by the Consultant prior to application of top soil mixtures and finish grading. Securely demarcated subgrade to a minimum depth of 6" (150mm) immediately before placing growing medium. Provide positive grades away from buildings and toward lawn drains and catch basins. Slope away from building at a minimum of 2%. Slope towards lawn drains at minimum 4%. Slope lawn and grass areas minimum 2% and maximum 3.1 slopes. Slope grass areas (without additional erosion protection) along street minimum 1% and maximum 10% and along side slopes minimum 6:1 slope and maximum 3:1 slope.
6. Landscape Contractor to provide 55 days of maintenance after the date of Substantial Completion. Maintain to level 2 Graded as per Consultant Landscape Standards. Contractor to provide a one year guarantee for all plant material. Plants installed prior to June (between Jan 1 and June 1) shall be under extended warranty until the June 1 of the following year.
7. Planting material on City Roadward to have the approval of the Parks Dept. prior to installation. Size, species and location require approval at the time of installation.
8. All landscaping to have high efficiency irrigation system to IADC standards.

**TREE NOTES**

1. The tree protection barriers must be built and inspected before the building permits can be issued. Please call the building inspector at local municipality and require a tree barrier inspection at least 48 hours in advance of the building permit.
2. Protection of existing trees/shrubs to remain: Install temporary tree protection fencing to meet all relevant by-law standards, at location specified by Arborist (or drip line if unspecified) of existing heights, trees, and shrubs which are to remain. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction until final landscape work is being done in the vicinity. Remove protective fencing as directed and landscape as directed.

**LEGEND**

- Property line - Proposed
- Right of Way boundary
- direction of flow
- Driveway area drain, Top Locations list by C-116

**Grading (by Architect)**

- Existing grades
- Proposed grades
- Existing contour elevation

J	2022-03-16	Re- Issue for DP
I	2022-02-03	Issued for Development Permit
H	2022-02-02	Issued for Review
G	2022-01-25	Issued for Development Permit Coordination
F	2022-01-21	For Coordination Acct Site Revisions
E	2021-03-22	Issue for Development Permit
D	2021-01-21	Issue for Review
C	2020-12-17	Issue for Coordination - IN PROGRESS.
B	2020-11-04	Issue for Coordination



**Prospect & Refuge**  
 LANDSCAPE ARCHITECTS  
 #102 Hill St. 2nd Ave. Vancouver, BC, V6C 1K3  
 604-681-1023 info@prospectandrefuge.ca  
 PROSPECTANDREFUGE.COM

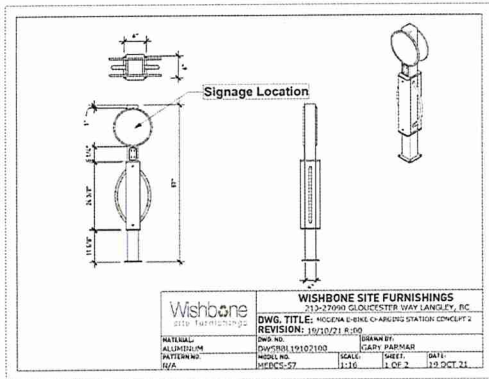
2020-22  
 4771 Hammond Bay Road, Nanaimo, B.C.

**Landscape Grading Plan**

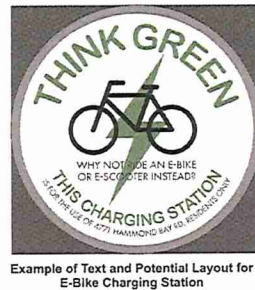
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Client:	RZ	Scale:	1/8" = 1'-0"
Drawn by:	JL	Sheet:	L2b
Date:	OCT 2020		



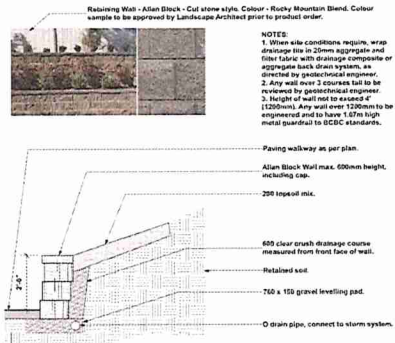




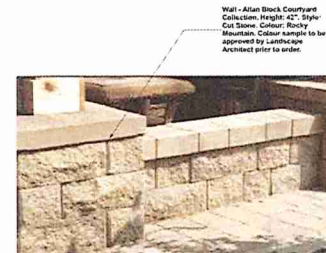
1 Wishbone Modena E-Bike Charging Station  
L4b NTS



Example of Text and Potential Layout for E-Bike Charging Station



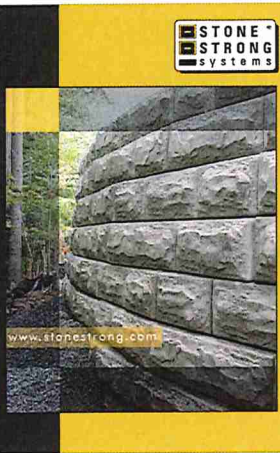
2 Allan Block Retaining Wall  
Scale: 1/2" = 1'-0"



3 Allan Block Freestanding Wall  
L4b NTS

<b>24 SF Block</b> #237-447	The 24SF Block contributes to the level of performance. A small size and of lighter weight allows for easy installation. 2000' in stock.	<b>90° Block</b> #418-447	The 90° Block provides for multiple and 90° turns.
<b>45° Block</b> #119-447	The 45° Block allows for higher retaining walls and steps of 18" increments. The 45° Block can also be used on sloped retaining walls.	<b>45° Block</b> #418-447	The 45° Block provides for multiple and 45° turns.
<b>End/Cover Block</b> #119-447	The End/Cover Block is used for 90° turns and for end treatments.	<b>Dual Four Block</b> #119-447	The Dual Four Block provides for dual 45° turns.
<b>2SF Block</b> #238-447	The 2SF Block allows for easy on-slope installation.	<b>Stone-Crete Block</b> #325-327	The Stone-Crete Block provides for a more decorative wall top.
<b>24SF Top Block</b> #237-447	The 24SF Top Block is used for decorative top treatments.	<b>24SF Mass Extension Block</b> #325-327	The addition of the 24SF Mass Extension Block provides for greater gravity wall height.

4 Stonestrong retaining wall system  
L4b NTS



**STONE STRONG SYSTEMS**

Engineered Solutions

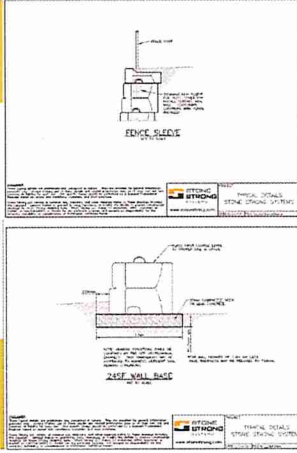
Attractive, affordable, durable, and versatile!

The massive size and scale of Stone Strong blocks makes them ideal for use in large-scale applications - highway, railroad, commercial and waterways to name a few - providing both an attractive and structurally sound solution for your project.

Some Strong's main block, known as 24 square foot face that measures 3 feet by 3 feet, making it the largest precast retaining wall block available on the market today. The wide design of the block maximizes the square footage of the block with minimal concrete used. Stone Strong blocks are engineered both structurally and geotechnically. The blocks are manufactured to precise specifications to ensure that the units are uniform in weight, dimensional tolerances and strength, unlike other blocks returned over-size is never used.

Key features:  
- Gravity retaining walls  
- Engineered product  
- Manufactured to precise specifications  
- Life cycle savings  
- Better block  
- Fewer maintenance  
- Engineering support  
- Natural or capability  
- Versatile

Stone Strong Systems  
1-877-501-5652  
www.stonestrong.com



J 2022-03-16	Re-issue for DP
I 2022-02-03	Issued for Development Permit
H 2022-02-02	Issued for Review
G 2022-01-25	Issued for Development Permit Coordination
F 2022-01-23	For Coordination: Arch Site Reviews
E 2021-03-23	Issue for Development Permit
D 2021-01-21	Issued for Review
C 2020-12-17	Issued for Coordination - IN PROGRESS. L2a Only
B 2020-11-04	Issued for Coordination

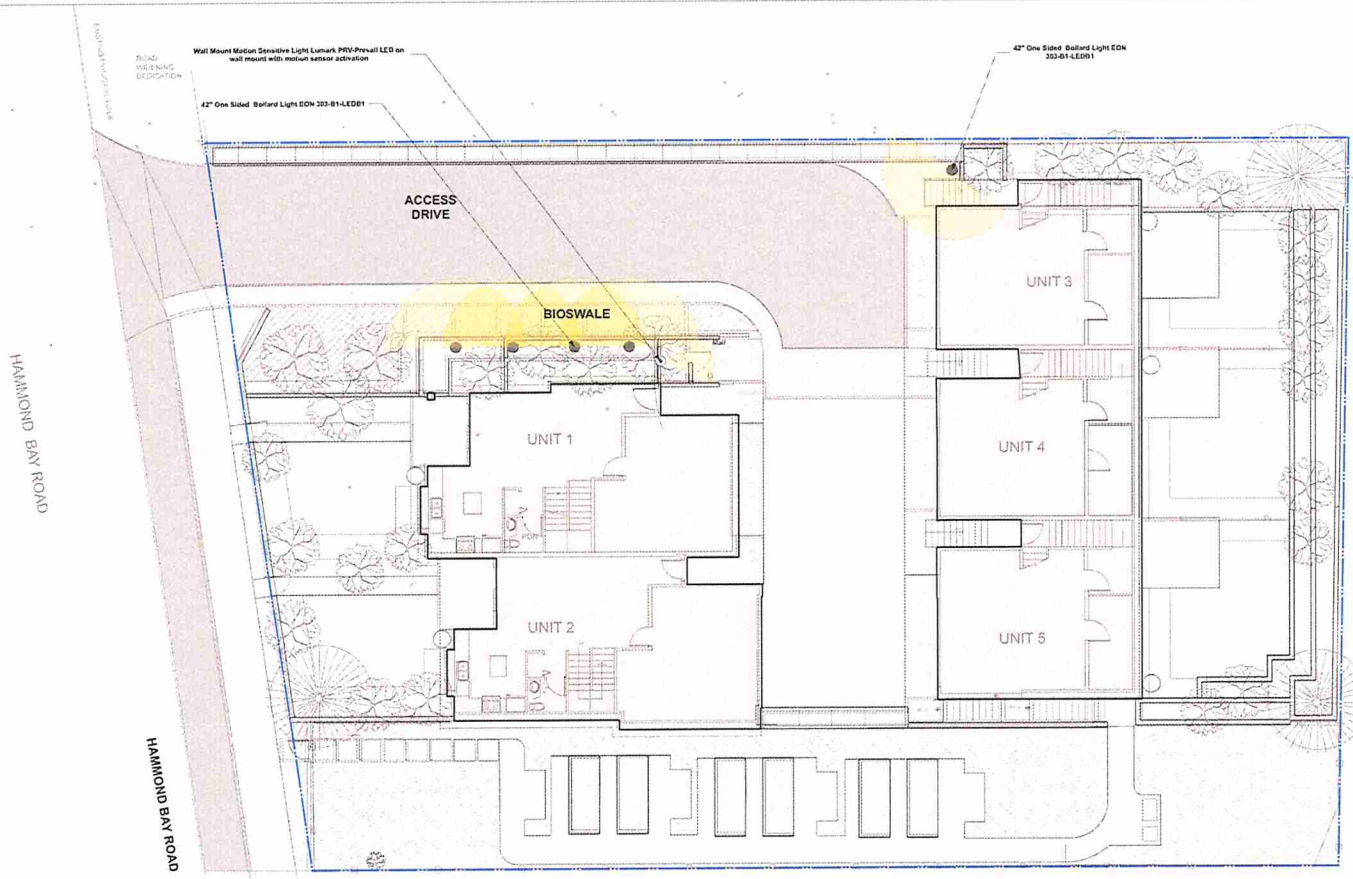
RECEIVED  
DIP 12299  
2022-MAR-22

**Prospect & Refuge**  
LANDSCAPE ARCHITECTS  
4771 Hammond Bay Road, Nantucket, B.C.  
905-866-1033 prospectandrefuge.ca

Project Name: 2020-22  
4771 Hammond Bay Road, Nantucket, B.C.

Landscape Details

Project Number: AS	Project No: 2020-22
Client: KZ	Team: JAS HUBB
Version: 1L	Project: L4b
DATE: OCT 2020	



**LEGEND**

- Property line - Proposed
- Right of Way boundary
- 42" One Sided Bollard Light EON 303-01-LED01
- Wall Mount Motion Sensitive Light Lumark PIV-Prevail LED on wall mount with motion sensor activation

**LANDSCAPE NOTES**

- All landscape construction to meet the current edition of the Canadian Landscape Standards as a minimum acceptable standard. Plant material to the satisfaction of the Landscape Standards for nursery stock. Conduct search for plant material to Washington and BC.
- Sizes on the planting plan shall be considered minimum sizes.
- Root balls to be free of potted weeds.
- Top soil mixtures for the project shall be tested for particle size, pH, and nutrient levels, and recommendations provided and amendments made to bring the soil up to acceptable horticultural quality for the desired plant material, trees, or turf plantings. Provide verification of fertilizer and lime applications and rates during the installation and maintenance periods. Off site minimum soil depths are 6" (150mm) for lawn areas and 18" (450mm) for shrub beds and ground cover plantings. Install 2" (50mm) of composted organic mulch on all shrub beds after planting and rake smooth.
- The prepared sub-grade shall be approved by the Consultant prior to application of top soil mixtures and finish grading. Securely compacted subgrade to a minimum depth of 6" (150mm) immediately before placing growing medium. Provide positive drainage away from buildings and toward lawn drains and catch basins. Slope away from building at a minimum of 2%. Slope towards lawn basins at minimum 4%. Slope lawn and grass areas minimum 2% and maximum 3.1 slopes. Slope grass areas (without additional erosion protection) along street maximum 1% and maximum 10% and along side slopes maximum 6.1 slope and maximum 3:1 slopes.
- Landscape Contractor is to provide 55 days of maintenance after the date of Substantial Completion. Maintain to level 2 (Openwork as per Canadian Landscape Standards). Contractor to provide a one year guarantee for all plant material. Plants installed prior to June (between Jan 1 and June 1) shall be under extended warranty until the June 1 of the following year.
- Planting material on City Boulevard to have the approval of the Parks Dept. prior to installation. Size, species and location require approval at the time of installation.
- All landscaping to have high efficiency irrigation system to IAEC standards.

**TREE NOTES**

- The tree protection barriers must be built and inspected before the building permits can be issued. Please call the building inspector at local municipality and request a tree barrier inspection at least 48 hours in advance of the building permit.
- Protection of existing trees/shrubs to remain: Install temporary tree protection fencing to meet all relevant bylaws/standards at location specified by Arborist for slope line if unexpected of existing hedges, trees, and shrubs which are to remain. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction until final landscape work is being done on the vicinity. Remove protective fencing as directed and landscape as directed.

Date	Issue Notes
J 2022-03-16	Re-issue for DP
I 2022-02-03	Issued for Development Permit
H 2022-02-02	Issued for Review
G 2022-01-29	Issued for Development Permit Coordination
F 2022-01-20	For Coordination Arch Site Revisions
E 2021-03-22	Issue for Development Permit
D 2021-01-21	Issue for Review
C 2020-12-17	Issue for Coordination - IN PROGRESS. LZs Only
B 2020-11-04	Issue for Coordination



**Prospect & Refuge**  
 LANDSCAPE ARCHITECTS  
 4771 Hammond Bay Road, Nanaimo, B.C.  
 250-755-1231 prospectandrefuge.ca

Project: 2020-22  
 4771 Hammond Bay Road, Nanaimo, B.C.

**Landscape Lighting Plan**

Location	Fixture	Height
AC	AS	2100-22
KZ	AS	180-110' Unless otherwise noted
AS	AS	

Date: 2020-10-13

L6

**SCHEDULE D - AMENITY REQUIREMENTS  
FOR ADDITIONAL DENSITY**

**Schedule 1**

**Schedule D**

**Amenity Requirements for Additional Density**

In order for a development to include the additional Tier 1 density provided for within this Bylaw, the proposed development must achieve sufficient minimum points required in at least three of the categories set out in the following table which allocates points for amenities, affordable housing and the location of the development.

*The development at 4771 Hammond Bay Rd will include Tier 1 density by achieving the minimum points required in Category 3, 4 and 6 as outlined below.*

Category 3: Parking and Sustainable Transportation (10 points required)

Amenity		Points
D	The parking area within the proposed development includes at least one electric vehicle charging station. <i>The development will include electric vehicle charging stations in all units.</i>	1
E	A minimum of 80% of the total parking area is located underground or in a parking structure incorporated into the design of the building. <i>The development will incorporate all 10 parking spaces into the design of the building.</i>	4
F	The proposed development includes covered and designated parking spaces for a motorized scooter or plug-in for an electronic bicycle or electric scooter, or a designated motorcycle parking space to accommodate the following number of spaces: <ul style="list-style-type: none"> <li>a) multiple-family residential developments: 1 motorized scooter or motorcycle space per 15 dwelling units; and</li> <li>b) non-residential uses: 1 motorized scooter or motorcycle space per 600m<sup>2</sup> of Gross Floor Area for the first 5000m<sup>2</sup> plus one space per 1500m<sup>2</sup> of additional Gross Floor Area; and</li> <li>a) a minimum of one electronic plug-in is provided to accommodate at least one electric scooter or electronic bicycle.</li> </ul> <i>The development will include one designated space with a plug-in for an electric scooter/bicycle.</i>	2
H	Parking does not exceed minimum parking requirements within the City's Development Parking Regulations Bylaw. <i>The development will provide the minimum requirement of two car spaces per unit.</i>	2
I	The development includes signage or display(s) regarding sustainable transportation alternatives available on site or within the immediate area. <i>A sign will be located near the electric bicycle/scooter plug-in, indicating its purpose and instructions for use.</i>	1
Total		10

Category 4: Building Materials (8 points required)

Amenity		Points
A	Wood is the primary building material. <i>The development will use wood as the primary building material.</i>	1
C	At least 50% of all wood products used in construction are certified by the Forest Stewardship Council (FSC), the Sustainable Forestry Initiative (SFI), the Canadian Standards Association – Sustainable Forest Management Standard (CSA-SFM), or recognized equivalent. <i>At least 50% of wood materials used in this project will meet one of the appropriate certifications.</i>	3
E	The project developer has submitted a construction and waste management plan that, at a minimum, identifies the materials to be diverted from disposal and whether the materials will be sorted onsite or comingled. <i>The construction contractor will be required to prepare and submit a waste management plan in accordance with industry best practices.</i>	2
F	At least 75% of the materials used in construction are renewable resources. <i>The development will use wood as the primary building material.</i>	2
Total		8



Category 6: Water Management (8 points required)

Amenity		Points
A	At least 50% of the property is covered with a permeable surface area which may include a green roof. <i>The development will feature permeable surfaces on at least 50% of the property, including permeable pavers for the driveway.</i>	2
E	A non-potable irrigation system is installed and used for all on-site irrigation. <i>The development will incorporate a rainwater harvesting system connected to drip irrigation.</i>	3
F	A water efficient irrigation system (such as drip) is installed. <i>The development will incorporate a rainwater harvesting system connected to drip irrigation.</i>	1
G	The proposed development includes a rain garden, cistern, bioswale or storm water retention pond on the property. <i>The development includes a bioswale to capture stormwater runoff.</i>	2
Total		8